



EL DORADO COUNTY PLANNING & BUILDING DEPARTMENT

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Date: December 21, 2023

To: Honorable Board of Supervisors

From: Karen L. Garner, Planning & Building Director

Subject: Limited Density Owner Built Rural Dwelling (Title 25) for Grizzly Flats

On November 13, 2023, County staff from various departments and divisions as well as representatives from other agencies with jurisdiction in Grizzly Flats convened to discuss the feasibility of applying a Limited Density Owner-Built Rural Dwellings (Title 25) program in Grizzly Flats and how such a program should be structured to best serve the needs of Grizzly Flats residents and the general public. Group members included:

- Kim Gustafson, General Manager, Grizzly Flats CSD
- Art Davidson, Board Member, Grizzly Flats CSD
- Dave Whitt, Chief, Pioneer Fire District
- Ken Earle, Battalion Chief/Fire Marshal, Pioneer Fire District
- Greg Horsfall, Chief Building Official, City of Placerville/Building Industry Advisory Committee Member
- Sue Hennike, Assistant CAO, El Dorado County
- Jefferson Billingsley, Deputy County Counsel, El Dorado County
- Chris Simonson, Building Inspector, Planning & Building, El Dorado County
- Chris Smith, Administrative Analyst, Planning & Building, El Dorado County
- Kathy Witherow, Executive Assistant, Planning & Building, El Dorado County
- Karen Garner, Director, Planning & Building, El Dorado County

Following are the sections of Title 25 where there was group consensus, areas for further research and areas where there was not complete consensus and Board feedback is requested. Please note that the Title 25 Sections are summary descriptions. Please see attached Title 25 for complete language.

Requirements

The following items are requirements of Title 25. No changes recommended.

Title 25 Section	Requirement
§ 96. Permits	Permits must be issued by the Building Division once application and plans approved.

§ 106. Permit Validity	Permits are valid, without renewal, for a minimum period of three years. (Compared to one year under Title 24).
§ 116. Certificate of Occupancy	A certificate of Occupancy will be issued after structure completed and inspected.
§ 122. General Requirements § 124. Intent of General Requirements § 126. Technical Codes to Be a Basis of Approval	Structures must comply with certain sections of the California Building Code (Title 24), but there are allowances for alternatives, provided that alternatives, materials, methods of construction, and structural integrity shall perform in application for the purpose intended. The Building Division and other reviewing agencies shall use reasonable judgment in determining compliance. Structures need not conform with the Uniform Building, Plumbing, and Mechanical Codes and the National Electrical Code or other technical codes, however, such codes shall be a basis of approval.
§ 128. Mechanical Requirements	Fireplaces, heating and cooking appliances, and gas piping shall be installed and vented in accordance with the applicable requirements contained in the California Mechanical Code.
§ 134. Plumbing Requirements	Plumbing equipment and installation shall be in accordance with the applicable requirements contained in the California Plumbing Code (Title 24),

Recommendations

The following are areas of Title 25 with flexibility and the review group's recommendations.

Title 25 Section & Summary	Recommendation
§ 82. Regulation of Use Requires homeowner to live in home a minimum of one year before selling, leasing or renting.	Require homeowner to live in home a minimum of three years before selling, leasing or renting (same as Butte County).
§ 92. Recording Allows jurisdictions to require recordation on property to disclose structure was built under Title 25	Require recording disclosing Title 25
§ 98. Application Specifies required information on building permit application.	A special application will be prepared specifically for Title 25 applications modeled after Butte County example.
§ 100. Plans Specifies minimum information required on plans. Architectural drawings and structural analyses shall not be required except for	Will allow simplified plans modeled after Butte County example. Snow load information will be required.

structures of complex design or unusual conditions.	
§ 108. Inspections Inspections are at the discretion of the Building Division.	Require minimum of four inspections: foundation, framing, rough electrical & plumbing, final (modeled on Butte County example). More inspections may be required for unconventional construction or special circumstances (i.e., addition of solar).
§ 118. Temporary Occupancy The use and occupancy of a portion or portions of the dwelling may be allowed prior to completion of the entire structure provided that approved sanitary facilities are available at the site and there are no health or safety issues.	Will allow but recommend referring to it as "Partial occupancy" since temporary occupancy is usually used to describe a different condition.
§ 120. Fees Fees may be collected by the County but must be based on actual inspection and administrative costs.	Title 25 structures in Grizzly Flats would be covered under existing Caldor Fire Urgency Ordinance (Ord. 5150) and therefore fees for plan check, inspection or other County fees will be waived.
§ 130. Electrical Requirements § 132. Installation Requirements Dwelling not required to be connected to a source of electrical power, or wired, or otherwise fitted for electrification.	Will not require that dwellings, or portions of dwellings, be electrified. Where electrical wiring or appliances are installed, it shall be in accordance with the California Electrical Code (Title 24)

Other Requirements

The following are areas outside of Title 25 and the review group's recommendations.

Topic	Recommendation
Qualifications for Program	- Grizzly Flats residents only. Will use Grizzly Flats Rural Community Center boundary (General Plan). - Proof of ownership prior to Caldor Fire (same as current fee waiver program). Residents who owned lots prior to Caldor Fire but subsequently purchased adjacent lot will qualify, even if proposed structure is on newly purchased parcel.
Pilot Program/Sunset Date	Initial Two Year Program with ability for Board to extend.
Sale of Property	Once property sold (minimum three years after built), Title 25 structure must either be brought up to Title 24 standards, converted to another use, such as U occupancy (storage, garage) or removed.
Snow Load	Structures must meet snow load requirements. Most of Grizzly Flats is 70

	lbs./sq. ft. or less. Title 24 includes structural standards for up to 70 lbs./sq. ft, so design is easy to incorporate into plans.
Grizzly Flats CSD Service	If parcel was previously served by Grizzly Flats CSD for water, will require water service again.
Septic	Sites will need to meet standard septic requirements.
PG&E	Site will need to meet PG&E requirements. Solar must be permitted through County Building Division (state limits cost of solar permits).

Further Discussion/Feedback from Board Requested

Includes the group's discussion.

Topic	Discussion
Fire Sprinklers Requirement based on size?	1,200 sf – this is based on old requirements that have since been superseded. Butte County still uses this threshold for fire sprinklers. State ADU law does not require fire sprinklers for 1,200 sf or less only if the primary residence is not required to have fire sprinklers (i.e., existing single-family home built prior to fire sprinkler requirements). Of course, those that may use this program no longer have a primary residence. 800 sf – not based on any particular law, but rather a smaller square footage yet still seemed a reasonable size. 320 sf – based on state & local fire laws for manufactured homes. Law does not require fire sprinklers for manufactured homes that do not exceed 320 sq. ft. - Committee proposed 320 sf (even if stick built). - Consider different requirements based on lot size? (i.e., no fire sprinklers for 800 sq. ft if on ½ acre or more; no fire sprinklers for 1,200 sq. ft if on 1 acre or more)
Fire Sprinklers - Are there less expensive alternatives? - Are there other items that could be required in lieu of fire sprinklers?	Are there fire suppression systems that can be run off domestic water line rather than dedicated fire suppression water line? Are water tanks less expensive?

	• Are there home hardening alternatives that are less cost that provide protection? Require fire extinguishers? Smoke detectors already required by code.
Milled Lumber • Require 7A compliance?	• May be lack of lumber inspectors in the state for 7A compliance. • Butte County example: Owner produced materials or milled lumber is allowed with a review and approval by the Building Official – 19% moisture content.
Generators as Source of Power	• Will allow as primary source of power through partial occupancy but must have electrical or solar power upon final occupancy.

Additional Recommended Research

- Actual costs of fire sprinklers including design, installation, connection to water and any line upgrades that may be necessary.
- Complete list of permits issued in Grizzly Flats since Caldor Fire. Stick-built vs. modular and Temp RV permits.
- Additional information regarding 7A compliant lumber including feasibility and cost.
- Explore if pre-approved ADU program can include an option specific to Title 25 structure.
- Grant or other funding sources available to cover cost of fire sprinklers for Title 25 structures (may require income verification).
- Outreach to Grizzly Flats Community to obtain resident feedback.

Title 25

25 CCR § 74. Purpose

The purpose of this article is to provide minimum requirements for the protection of life, limb, health, property, safety, and welfare of the general public and the owners and occupants of limited density owner-built rural dwellings and appurtenant structures. It is also the expressed purpose of this article to conform the regulations regarding the construction and use of limited density, rural owner-built dwellings and appurtenant structures to the requirements of Article 1, Section 1, of the California State Constitution, and the statutes of the State of California which require the department to consider the uniform model codes and amendments thereto; and local conditions, among which are conditions of topography, geography and general development; and to provide for the health, safety and general welfare of the public in adopting building standards. Any section, subsection, sentence, clause, or phrase of this article if, for any reason, held to be unconstitutional, or contrary to California statutes, such ruling shall not affect the validity of the remaining portions of this article.

§ 76. Intent and Application

The provisions of this article shall apply to the construction, enlargement, conversion, alteration, repair, use, maintenance, and occupancy of limited density owner-built rural dwellings and appurtenant structures. It is the intent of this article that the requirements contained herein shall apply to seasonally or permanently occupied dwellings, hunting shelters, guest cottages, vacation homes, recreational shelters and detached bedrooms located in rural areas.

§ 78. Definitions

For the purposes of this article the following definitions shall apply:

"Limited density, rural dwelling." A "limited density, rural dwelling" is any structure consisting of one or more habitable rooms intended or designed to be occupied by one family with facilities for living and sleeping, with use restricted to rural areas that fulfill the requirements of this article.

"Owner built."

(a) "Owner built" shall mean constructed by any person or family who acts as the general contractor for, or the provider of, part or all of the labor necessary to build housing to be occupied as the principal residence of that person or family, and not intended for sale, lease, rent or employee occupancy.

(b) For the purposes of this article the sale, lease, renting (see local authority Section 82(b)) or employee occupancy of owner-built structures in one year of issuance of a Certificate of Occupancy shall be presumptive evidence that the structure was erected for the purpose of sale, lease, or renting.

"Rural." For the purpose of this article only, "rural" shall mean those unincorporated areas of counties designated and zoned by the appropriate local agency for the application of this article. In defining "rural," the agency shall consider local geographical or topographical conditions, conditions of general development as evidenced by population densities and availability of

utilities or services, and such other conditions that the agency deems relevant to its determination.

Suitable areas may include those wherein the predominate land usage is forestry, timber production, agriculture, grazing, recreation, or conservation.

§ 80. Local Standards

Pursuant to Sections 17958, 17958.5, and 17958.7 of the Health and Safety Code, the governing body of every jurisdiction in which there exist rural areas displaying conditions appropriate for the application of this article and designated as such by the appropriate local agency shall adopt regulations imposing the same requirements as are contained in this article.

§ 82. Regulation of Use

(a) For the purposes of this article the sale, lease, renting or employee occupancy of owner-built structures within one year of the issuance of a Certificate of Occupancy shall be presumptive evidence that the structure was erected for the purpose of sale, lease or renting.

(b) The restrictions of this article on the sale, lease, renting, or employee occupancy of these dwellings may be reasonably amended to be more restrictive if the governing body determines that such an amendment is necessary to ensure compliance with the intent of this article.

§ 84. Abatement of Substandard Buildings

All structures or portions thereof which are determined by the enforcing agency to constitute a substandard building shall be declared to be a public nuisance and shall be abated by repair, rehabilitation, or removal in accordance with Health and Safety Code Sections 17980 through 17995. In cases of extreme hardship to owner-occupants of the dwellings, the appropriate local body should provide for deferral of the effective date of orders of abatement.

§ 86. Petitions for Interpretations

Any person or local agency may petition the Department for an interpretation of any provision of this article. Petitions shall be submitted in writing, after which the Department may consider such requests and the Department may make a determination as to the meaning or intent of any provision of this article with respect to the petition in question. The consideration of petitions for interpretation shall be discretionary with the Department.

§ 88. Interpretation

Interpretations by the Department as to the meaning, intent, or application of the provisions of this article are not intended to preempt the exercising of building or housing appeals processes established by Sections 17930-17932 of the Health and Safety Code, but are intended to facilitate public understanding and the effective enforcement of this article.

§ 90. Notice of Findings

The Department shall keep a record of all interpretations made by the Commission which shall be available for review by the public or any governmental agency and shall provide notice to the petitioner(s) of the Department's findings.

§ 92. Recording

No provision of this article is intended to prohibit or limit a local governing body from establishing and enforcing reasonable regulations for the recording of information regarding the materials, methods of construction, alternative facilities, or other factors that may be of value in the full disclosure of the nature of the dwelling and appurtenant structures.

§ 94. Violations

The critical concern in the promulgation of this article is to provide for health and safety while maintaining respect for the law and voluntary compliance with the provisions of this article, and therefore, in the event that an order to correct a substandard condition is ignored, it is the intent of this section that civil abatement procedures should be the first remedy pursued by the enforcement agency.

§ 96. Permits

Permits shall be required for the construction of rural dwellings and appurtenant structures. The application, plans, and other data filed by an applicant for such permit shall be reviewed by the appropriate enforcement agency to verify compliance with the provisions of this article. When the enforcement agency determines that the permit application and other data indicate that the structure(s) will comply with the provisions of this article, the agency shall issue a permit therefore to the applicant.

Exemptions: Permits shall not be required for small or unimportant work, or alterations or repairs that do not present a health or safety hazard, and which are in conformance with local zoning requirements or property standards. The determination, if any, of what work is properly classified as small or unimportant or without relation to health and safety hazards is to be made by the appropriate local agencies.

§ 98. Application

To obtain a permit, the applicant shall first file an application therefore with the designated enforcement agency. Permit applications shall contain the following information: (1) name and mailing address of the applicant; (2) address and location of the proposed structure(s); (3) a general description of the structure(s) which shall include mechanical installations with all clearances and venting procedures detailed, electrical installations, foundation, structural, and construction details; (4) a plot plan indicating the location of the dwelling in relation to property lines, other structures, sanitation and bathing facilities, water resources, and water ways; (5) approval for the installation of a private sewage disposal system or alternate waste disposal means from the local health enforcement agency; (6) a stipulation by the applicant that the building or structure is to be owner-built; (7) the signature of the owner or authorized agent; (8)

the use or occupancy for which the work is intended; (9) and any other data or information as may be required by statute or regulation.

§ 100. Plans

Plans shall consist of a general description of the structure(s), including all necessary information to facilitate a reasonable judgment of conformance by the enforcing agency. This may include a simplified diagram of the floor plan and site elevation in order to determine the appropriate dimensions of structural members. Architectural drawings and structural analyses shall not be required except for structures of complex design or unusual conditions for which the enforcement agency cannot make a reasonable judgment of conformance to this article based upon the general description and simplified plan(s).

§ 102. Waiver of Plans

The enforcement agency may waive the submission of any plans if the agency finds that the nature of the work applied for is such that the reviewing of plans is not necessary to obtain compliance with this article.

§ 104. Modifications

Modifications to the design, materials, and methods of construction are permitted, provided that the structural integrity of the building or structure is maintained, the building continues to conform to the provisions of this article and the enforcement agency is notified in writing of the intended modification.

§ 106. Permit Validity

Permits shall be valid, without renewal, for a minimum period of three years.

§ 108. Inspections

All construction or work for which a permit is required may be subject to inspection by the designated enforcement agency. If an inspection is required, the inspection of the building or structure(s) shall be conducted after the structure(s) is completed and ready for occupancy, in order to determine compliance with the provisions of this article. Structures of conventional or simple construction shall be inspected at a single inspection.

§ 110. Special Inspections

Additional inspections may be conducted under the following circumstances: An inspection may be conducted where there is a reasonable expectation that the footing will be subjected to serious vertical or lateral movement due to unstable soil conditions; or the application indicates that interior wall coverings or construction elements will conceal underlying construction, electrical or mechanical systems; or where an unconventional construction method is indicated which would preclude examination at a single inspection.

§ 112. Inspection Waivers

Inspections may be waived by the enforcement agency for structures which do not contain electrical or mechanical installations or for alterations, additions, modifications, or repairs that do not involve electrical or mechanical installations; or where the applicant stipulates in writing that the work has been conducted in compliance with the permit application and the provisions of this article.

§ 114. Inspection Requests and Notice

It shall be the duty of the applicant to notify the enforcement agency that the construction is ready for inspection and to provide access to the premises. Inspections shall be requested by the applicant at least (48) hours in advance of the intended inspection. It shall be the duty of the enforcement agency to notify or inform the applicant of the day during which the inspection is to be conducted.

§ 116. Certificate of Occupancy

After the structure(s) is completed for occupancy and any inspections which have been required by the enforcing agency have been conducted, and work approved, the enforcement agency shall issue a Certificate of Occupancy for such dwelling(s) and appurtenant structure(s) which comply with the provisions of this article.

§ 118. Temporary Occupancy

The use and occupancy of a portion or portions of a dwelling or appurtenant structure prior to the completion of the entire structure shall be allowed, provided that approved sanitary facilities are available at the site and that the work completed does not create any condition to an extent that endangers life, health or safety of the public or occupants. The occupants of any such uncompleted structure shall assume sole responsibility for the occupancy of the structure or portion thereof.

§ 120. Fees

Fees may be required and collected by the enforcement agency to provide for the cost of administering the provisions of this article. It is the intent of this article that permit and inspection fee schedules be established to reflect the actual inspection and administrative costs resulting from the application of this article.

§ 122. General Requirements

- (a) Each structure shall be constructed in accordance with applicable requirements contained in Subchapter 2-12, Title 24, California Code of Regulations.
- (b) Each structure shall be maintained in a sound structural condition to be safe, sanitary, and to shelter the occupants from the elements.

§ 124. Intent of General Requirements

It shall be the purpose and intent of this article to permit the use of ingenuity and preferences of the builder, and to allow and facilitate the use of alternatives to the specifications prescribed by the uniform technical codes to the extent that a reasonable degree of health and safety is provided by such alternatives, and that the materials, methods of construction, and structural integrity of the structure shall perform in application for the purpose intended. To provide for the application of this article, it shall be necessary for the enforcement agency to exercise reasonable judgment in determining the compliance of appropriate structures with the general and specific requirements of this article.

§ 126. Technical Codes to Be a Basis of Approval

Except as otherwise required by this article, dwellings and appurtenant structures constructed pursuant to this part need not conform with the construction requirements prescribed by the latest applicable editions of the Uniform Building, Plumbing, and Mechanical Codes, the National Electrical Code, or other applicable technical codes; however, it is not the intent of this section to disregard nationally accepted technical and scientific principles relating to design, materials, methods of construction, and structural requirements for the erection and construction of dwelling and appurtenant structures as are contained in the uniform technical codes. Such codes shall be a basis for approval.

§ 128. Mechanical Requirements

Fireplaces, heating and cooking appliances, and gas piping installed in buildings constructed pursuant to this article, shall be installed and vented in accordance with the applicable requirements contained in the California Mechanical Code, Part 4, Title 24, California Code of Regulations.

§ 130. Electrical Requirements

No dwelling or appurtenant structure constructed pursuant to this article shall be required to be connected to a source of electrical power, or wired, or otherwise fitted for electrification, except as set forth in Section 132.

§ 132. Installation Requirements

Where electrical wiring or appliances are installed, the installation shall be in accordance with the applicable requirements contained in the California Electrical Code, Part 3, Title 24, California Code of Regulations.

Exceptions to Installation Requirements. In structures where electrical usage is confined to one or more rooms of a structure, the remainder of the structure shall not be required to be wired or otherwise fitted for electrification unless the enforcement agency determines the electrical demands are expected to exceed the confinement and capacity of that room(s). In these instances, the enforcement agency may require further electrification of the structure.

It is the intent of this subsection to apply to buildings in which there exists a workshop, kitchen, or other single room which may require electrification, and where there is no expectation of further electrical demand. The enforcement agency shall, at the time of a permit application or other appropriate point, advise the applicant of the potential hazards of violating this section.

§ 134. Plumbing Requirements

Plumbing equipment and installation shall be in accordance with the applicable requirements contained in the California Plumbing Code, Part 5, Title 24, California Code of Regulations applicable to the construction of limited density owner-built rural dwellings.

EL DORADO COUNTY PROTOTYPE TITLE-25 RURAL DWELLING



PROJECT DESCRIPTION

1. OCCUPANCY TYPE: IMPROVED, SINGLE-FAMILY
2. TYPE OF CONSTRUCTION: TYPE V, WOOD
3. SOIL BEARING CONDITIONS: VARIES
4. LATERAL DESIGN: WIND- 100MPH BASIC WIND SPEED
EXPOSURE- "B"
IMPORTANCE- 1
5. SEISMIC CONDITIONS: SOIL PROFILE- SD
CATEGORY ZONE- D
IMPORTANCE- 1
R= 5.5 CA= 0.36 CV= 0.54
IMPORTANCE- 1
6. CLIMATE ZONE: 16
7. SNOW LOADS: PG=10 PSF (GROUND)
8. FIRE SPRINKLERS: NOT REQUIRED
9. FLOOD ZONE: REVIEW NOT REQUIRED
10. FIRE HAZARD ZONE: VERY HIGH

SITE DESCRIPTION

1. PARCEL NUMBER: X
2. CURRENT ZONING: X
3. SITE ADDRESS: X
4. SITE AREA: X
5. WATER SERVICE: X
6. SEWER SERVICE: SEPTIC
7. ELECTRICAL SERVICE: P.G.E.
8. TELEPHONE SERVICE: AT&T
9. FIRE PROTECTION: X
10. SCHOOL DISTRICT: X

AREA SUMMARY

1. EXISTING DWELLING SPACE: 148 S.F. (GROSS)
2. COVERED PORCH AREA: 12 S.F. (GROSS)

INDEX OF DRAWINGS

- | | |
|----|------------------------------|
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| SP | SITE PLAN |
| | (PROVIDED SEPARATELY) |
| A1 | FLOOR PLAN |
| | BUILDING SECTION |
| A2 | BUILDING ELEVATIONS |
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| A4 | ROOF FRAMING PLAN |
| | ROOF PLAN |
| | VENTILLATION REQUIREMENTS |
| | ATTIC FLOOR PLAN |
| A5 | ELECTRICAL & MECHANICAL PLAN |
| | REFLECTED CEILING PLAN |
| | GAS PIPING PLAN |
| | NAILING SCHEDULE |

GENERAL NOTES

1. **NOT USED**
2. **SETBACKS AND ENCROACHMENTS.** THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PROPERTY LINES, VERIFYING ALL SETBACKS, EASEMENTS, AND RIGHTS OF WAYS. CONTRACTOR SHALL VERIFY THAT THE FOOTPRINT OF THE STRUCTURE WILL BE CONSTRUCTED WITHOUT ENCROACHING ANY APPLICABLE BOUNDARIES. DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE EL DORADO COUNTY BUILDING DEPARTMENT PRIOR TO CONSTRUCTION.
3. **PRECEDENCE OF INFORMATION.** WRITTEN DIMENSIONS, CONSTRUCTION DETAILS, AND APPROVED BUILDING DEPARTMENT SETS OF DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS OR ALTERNATE BUILDING DRAWINGS SETS.
4. **NOT USED**
5. **NOT USED.**
6. **FIXTURES AND EQUIPMENT.** ALL EQUIPMENT, APPLIANCES, FIXTURES, HARDWARE, FINISH MATERIALS, AND COLOR SELECTIONS TO BE DETERMINED BY AGREEMENT SOLELY BETWEEN THE OWNER AND CONTRACTOR.
7. **INSTRUMENTS OF SERVICE.** THESE DOCUMENTS, AND THE IDEAS AND DESIGN ELEMENTS INCORPORATED HEREIN, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE THE EXCLUSIVE PROPERTY OF EL DORADO COUNTY AND ARE NOT TO BE USED WHOLE, OR IN PART, WITHOUT PRIOR WRITTEN AUTHORIZATION OF EL DORADO COUNTY.
8. **REUSE OF PLANS AND DOCUMENTS.** EL DORADO COUNTY DOES NOT REPRESENT THAT THESE DETAILS AND PLANS, OR THE SPECIFICATIONS IN CONNECTION THEREWITH, ARE SUITABLE, WHETHER OR NOT MODIFIED, FOR ANY OTHER SITE THAN FOR THE ONE FOR WHICH THEY WERE PREPARED. THE ARCHITECT DISCLAIMS RESPONSIBILITY FOR THESE PLANS AND ASSOCIATED CONSTRUCTION DOCUMENTS IF THEY ARE USED WHOLE, OR IN PART, AT ANY OTHER SITE OR PROJECT.
9. **USE OF APPROVED PLANS.** THESE DRAWINGS AND ASSOCIATED CONSTRUCTION DOCUMENTS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED BY THE OWNER AND APPROPRIATE REGULATORY AGENCIES.
10. **PROPER COMPLETION OF WORK.** THE OWNER AND CONTRACTOR AGREE AND RECOGNIZE THAT BY USE OF THESE PLANS AND DOCUMENTS FOR THE COMMENCEMENT OF CONSTRUCTION THAT THAT THESE CONSTRUCTION PLANS AND DOCUMENTS EXHIBIT ONLY THE INTENT AND PURPOSES OF THE OWNER AND ARCHITECT AND THEY ARE NOT COMPLETE IN EVERY DETAIL. BY USE OF THESE PLANS, OWNER AND CONTRACTOR AGREE THAT ANY PART OF THE WORK NOT SET FORTH IN THESE DOCUMENTS, BUT WHICH IS NECESSARY FOR THE PROPER COMPLETION OF THE WORK TO THE SATISFACTION OF THE OWNER, IS TO BE SUPPLIED AS AGREED UPON BY THE OWNER AND CONTRACTOR ONLY.
11. **ADDITIONAL SERVICES (EXPENSES).** ADDITIONAL SERVICES REQUIRED BY REGULATORY AGENCY REVIEWS SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER.

APPROVALS

THESE DRAWINGS PROVIDED FOR PLANNING AND VIZUALIZATION PURPOSES ONLY.
THEY MAY BE USED FOR CONSTRUCTION ONLY IF BEARING AN ORIGINAL
BUILDING DEPARTMENT AND OTHER APPROPRIATE JURSDICTION APPROVAL STAMPS

4-6-25

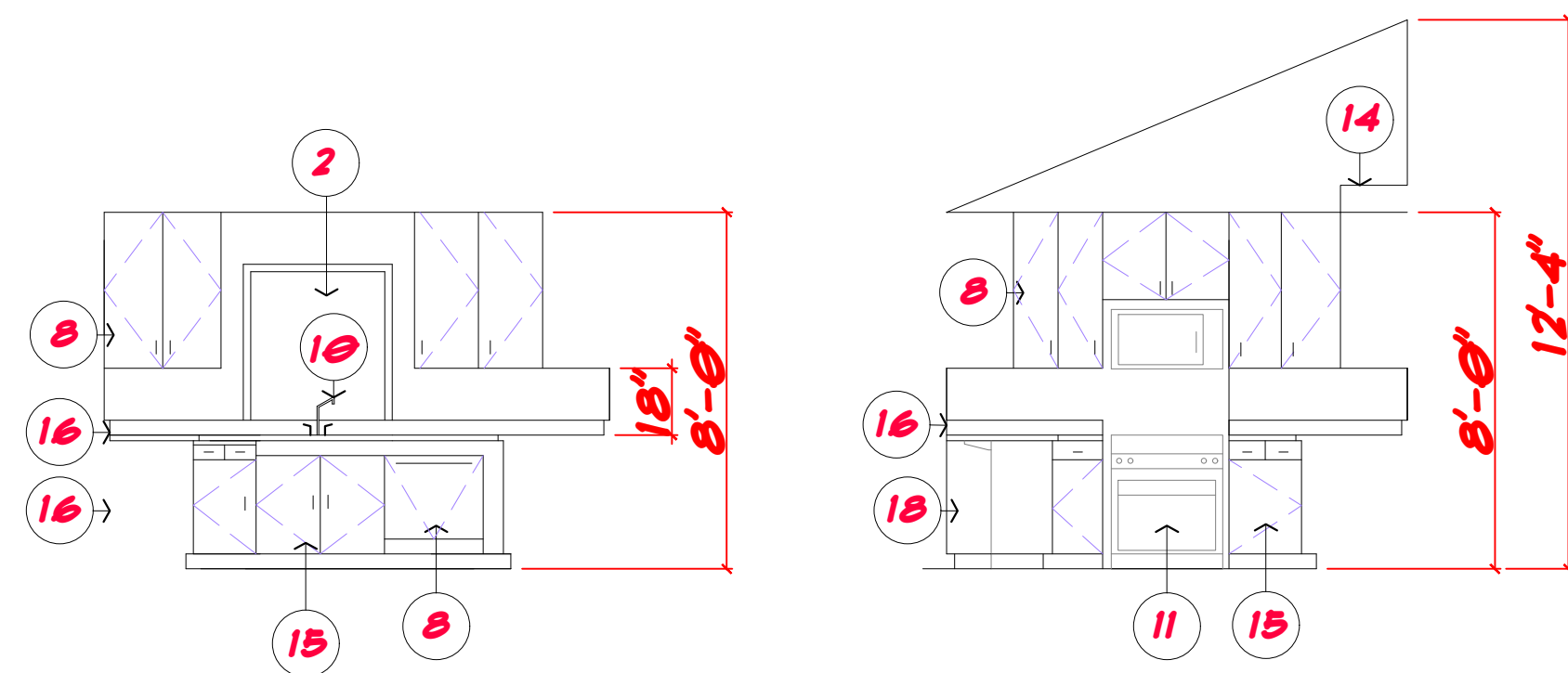
-COVER SHEET

CV

SHEET CONTENTS/TITLE

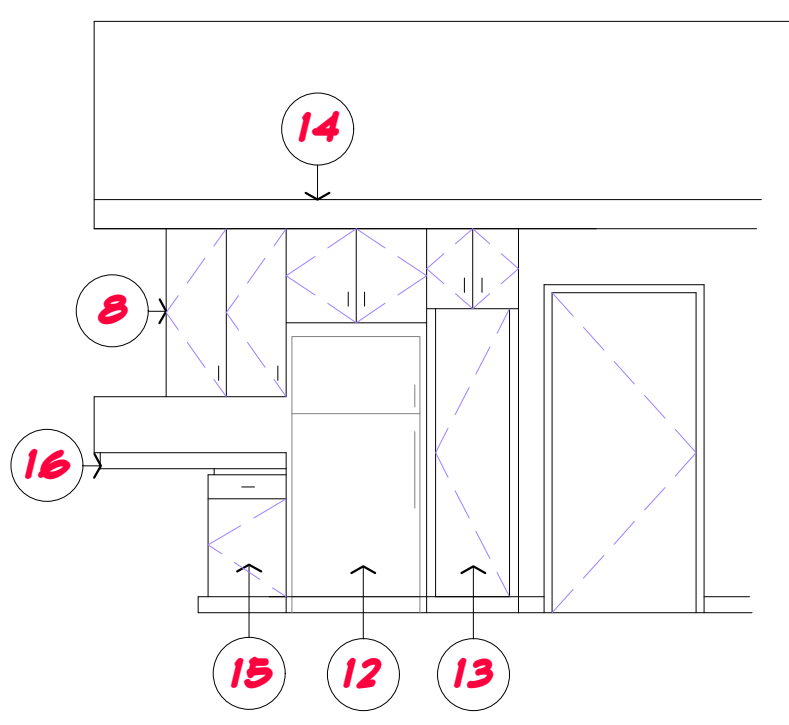


- A1

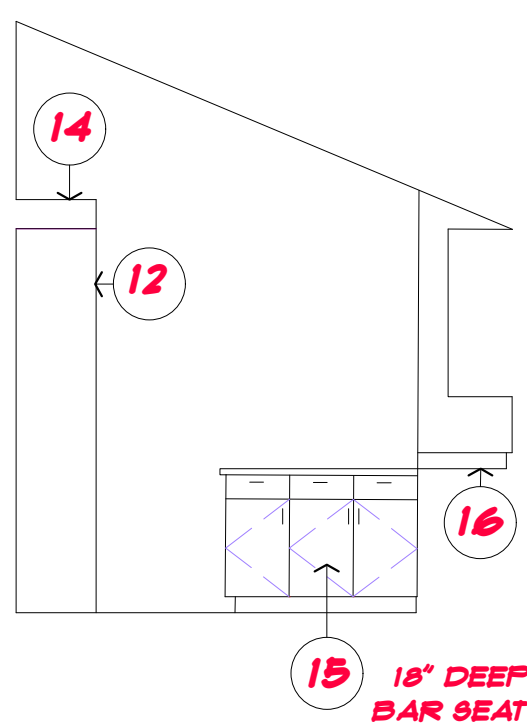


FACING SINK A

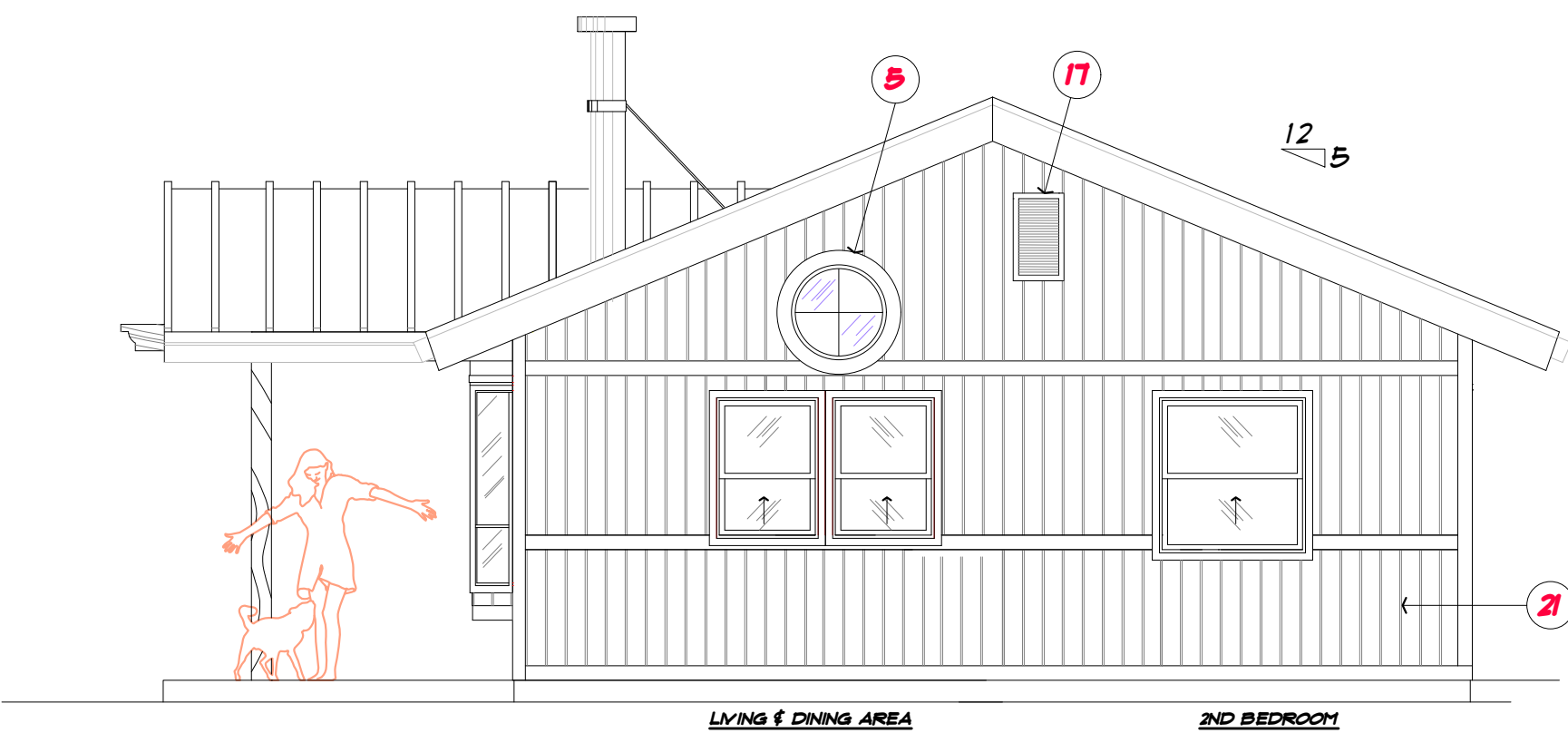
FACING SINK B



FACING REFRIGERATOR C

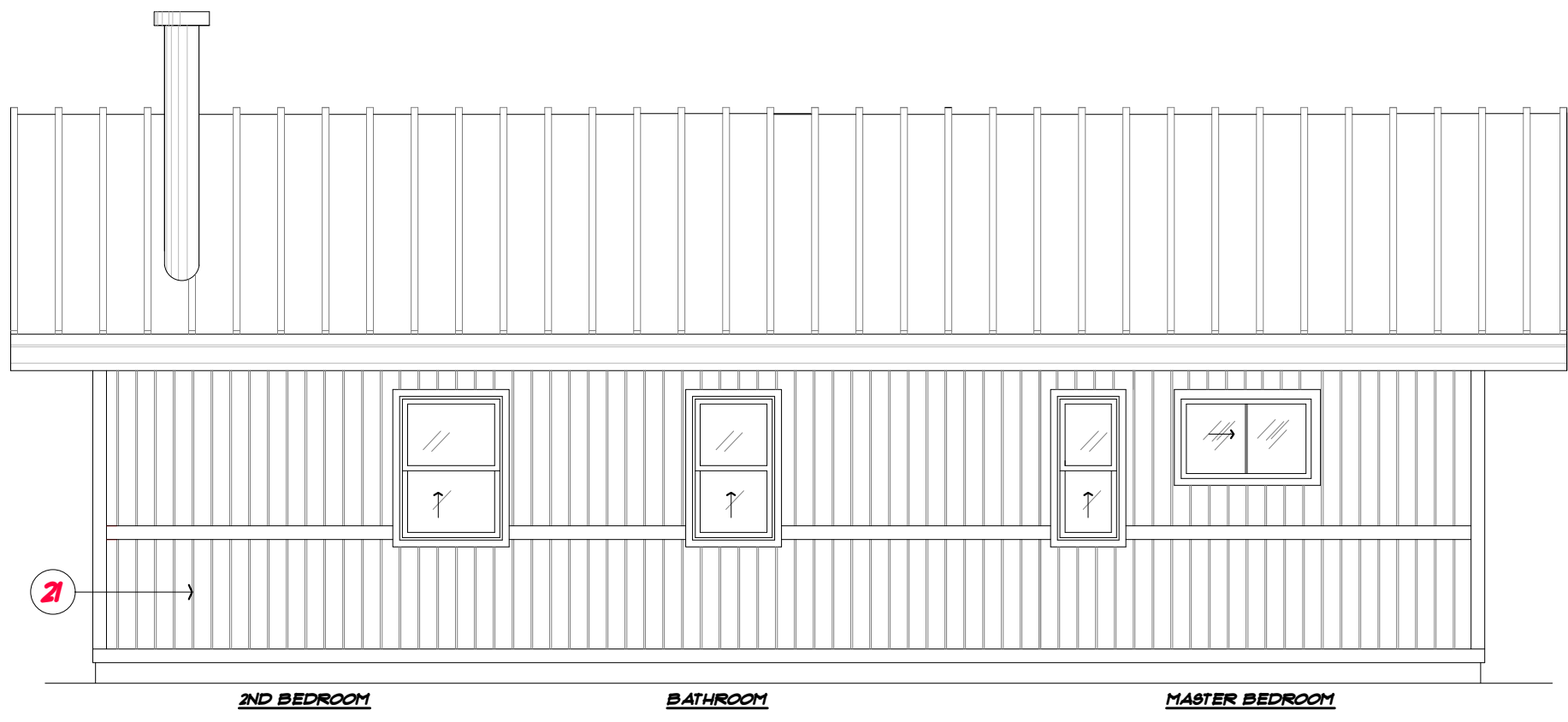


FACING BAR SEATING D



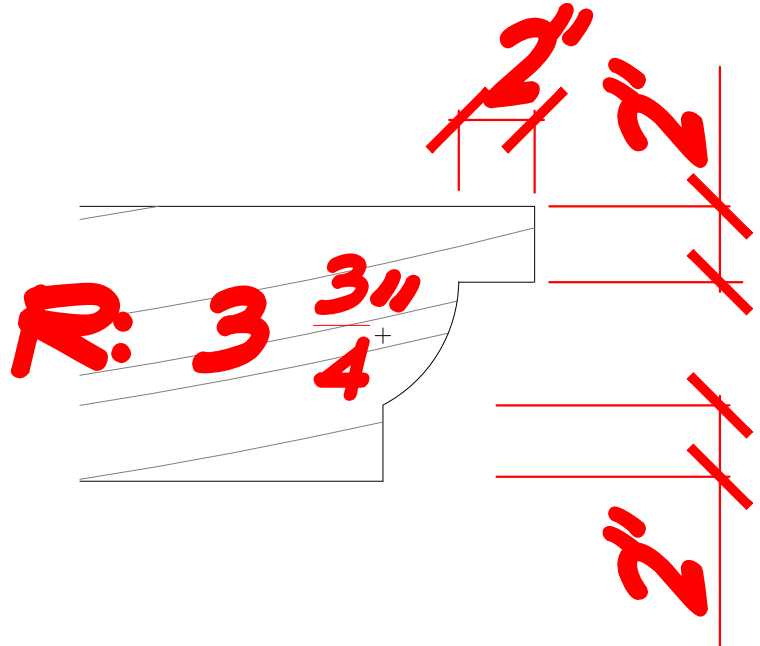
BUILDING END ELEVATION 4

1/4"=1'-0"

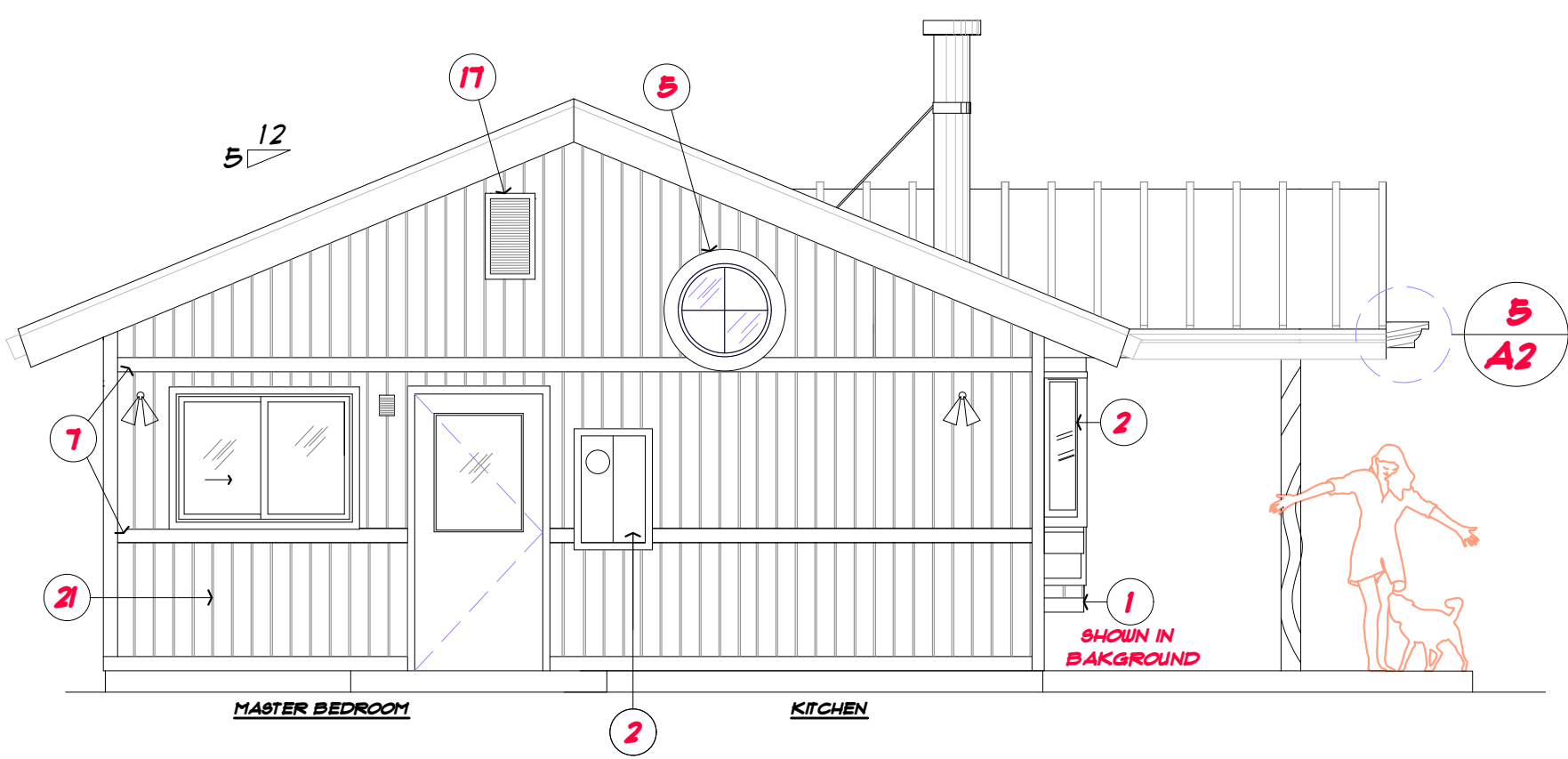


BUILDING REAR ELEVATION 3

1/4"=1'-0"

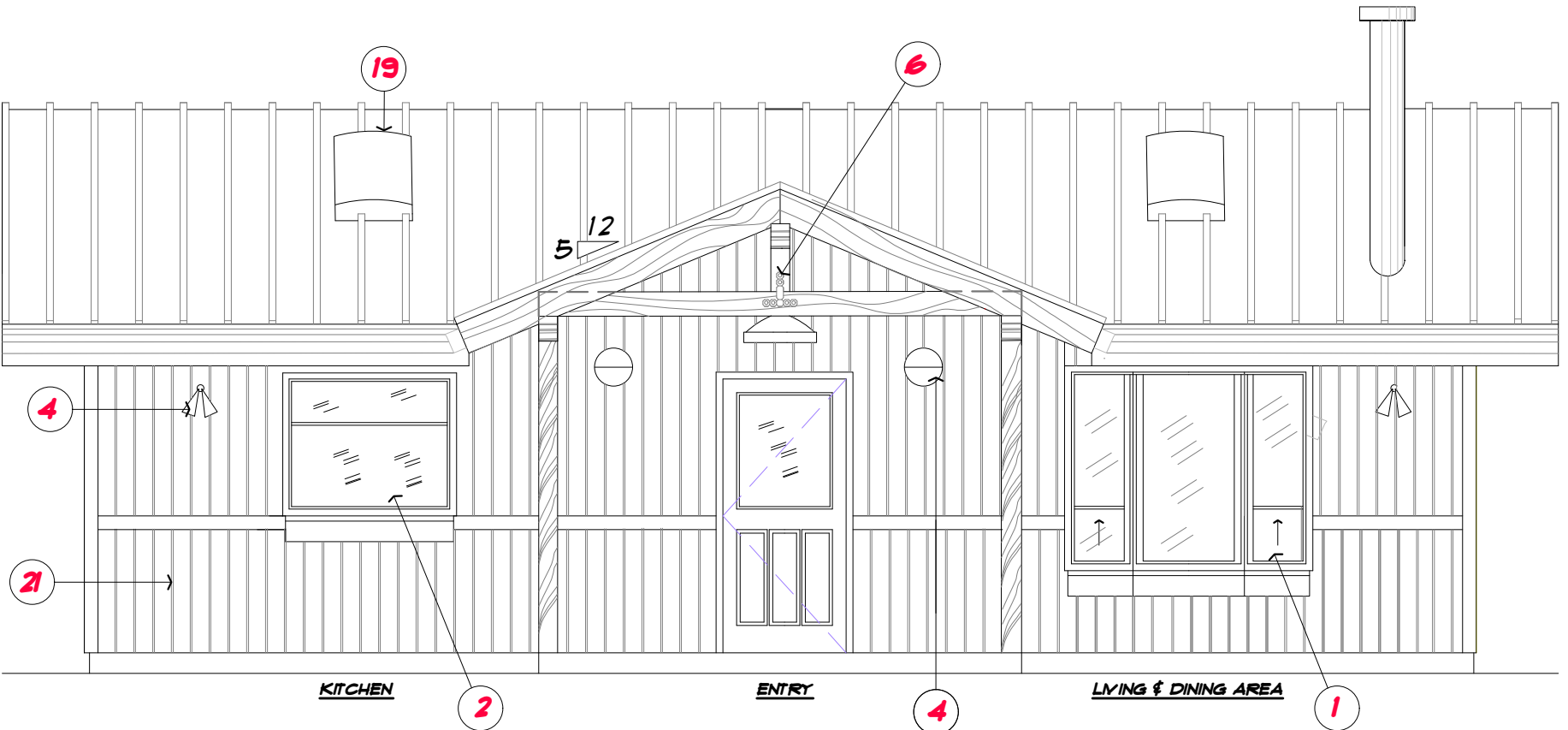


ENTRY CORBEL 5
N.T.S.



BUILDING END ELEVATION 2

1/4"=1'-0"



BUILDING FRONT ELEVATION 1

1/4"=1'-0"

KEYED NOTES
SHEET A2 - BUILDING ELEVATIONS

1. VINYL PRE-MFG. 6050 BAY WINDOW W/ DH. AT EACH SIDE. DOUBLE-GLAZED, LOW E, TEMPERED GLASS. PROVIDE BLOCKING AND SIDING TO UNDERSIDE OF EAVE ABOVE
2. 48X30 GARDEN WINDOW AS SELECTED BY OWNER
3. 200A COVERED PANEL
4. SURFACE MOUNTED LIGHT FIXTURE PER OWNER
5. 24" DIAMETER, DOUBLE-GLAZED, FIXED ROUND WINDOW. PROVIDE 4" CIRCULAR WOOD TRIM
6. DECORATIVE BEAM-TO-POST BRACKET BY "SIMPSON"
7. 1X4 BANDS @ 48" AND T-4" ABOVE FINISH FLOOR @ ALL EXTERIOR FACES
8. WALL-HUNG CABINETS & SHELVES PER OWNER
9. DISHWASHER
10. DOUBLE SINK W/ DISPOSAL UNIT
11. COOKTOP W/ OVEN & MICROWAVE ABOVE
12. REFRIGERATOR
13. PANTRY CABINET W/ SHELVES
14. PLANT SHELF. SEE DETAIL 4/A4
15. BASE CABINETS W/ SHELVES PER OWNER
16. 4" BACKSPASH. MATERIAL SIMILAR TO COUNTERTOP
17. 14"X24" SCREENED ATTIC VENT
18. BAR SEATING AREA W/12' OVERHANG
19. OPERABLE SKYLIGHT. SEE KEYED NOTE NO. 1, SHEET A4
20. NOT USED
21. LP SMARTSIDE CEDAR TEXTURE 8" OC PANEL, ENGINEERED TREATED WOOD SIDING, 8" APPLICATION AS 3/8"X4"X8", PAINT OR STAIN PER OWNER OR PLYWOOD SIDING PANEL T1-11 8", 3/8"X48"X36". PAINT OR STAIN PER OWNER

PROTOTYPE TITLE-25
RURAL DWELLING

PROJECT TITLE

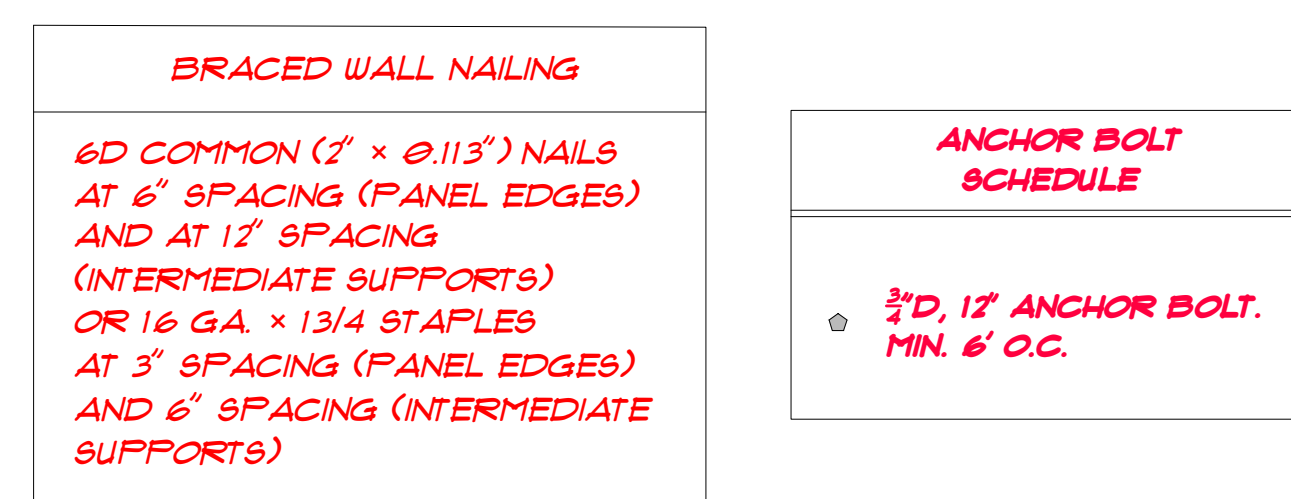
4-6-25

REVISIONS

-BUILDING & INTERIOR
ELEVATIONS

SHEET CONTENTS/TITLE

A2



1. PORCH FOOT FOOTING. SEE DETAIL A/2A3
2. TURNED-DOWN SLAB EDGE. SEE DETAIL 3/A/3
3. INTERIOR BEARING WALL. SEE DETAIL 4/A/3
4. UNDISTURBED NATIVE SOIL
5. 2" SAND
6. 4" CLEAN COMPACTED GRAVEL
7. 4" CONCRETE SLAB W/6X6 E.W.U.W.M.
-#1@18" EA. WAY
8. 2" RIGID INSULATION BOARD. OPTIONAL
9. 4 MIL. CONTINUOUS VAPOR BARRIER
CONTINUOUS #4, TOP AND BOTTOM.
PLACE BOTTOM BAR MIN. 3" FROM
BOTTOM OF TURNED-DOWN SLAB EDGE
11. #4 VERTICAL REBAR @48" O.C. BEND
AND EXTEND 24" INTO SLAB
12. FINISH GRADE. MAINTAIN 6" BELOW
BOTTOM OF BOTTOM SILL PLATE
13. ALUMINUM FLASHING AND
COUNTER-FLASHING @ ALL EXT. WALLS
14. 2X6 PTDF BOTTOM PLATE. OR EQUAL
CAULK AND PROVIDE INSECT SEAL
15. $\frac{5}{8}$ " MIN. EXT. RATED OSB. OR EQUAL
16. R-20 BATT INSULATION. TYPICAL ALL
EXT. WALLS
17. 2X6 PTDF STUDS @ HOUSE, 2X4 @
GARAGE (OR EQUAL) @ 16" O.C. UNO
SIMILAR
18. HARD-BOARD WOOD SIDING. OR
SIMILAR
19. 11/2"x12" ANCHOR BOLT W/2X2, $\frac{1}{2}$ "
SQUARE PLATE WASHERS
20. $\frac{1}{2}$ " GYPSUM BOARD. USE TYPE "X" @
LAUNDRY, KITCHEN, & BATH AREAS
21. ELASTOMERIC WATER-PROOFING
COATING
22. CONTINUOUS 4" PERFORATED DRAIN
PIPE @ ALL EXT. WALLS, DRAIN TO
DAYLIGHT
23. 3"x15 1/2"x41" SOUND-PROOFING WOOL
BATS @ WALL LINE E AND WALL LINE A1
24. 2X8 @ 16" O.C. PLUMBING WALL
25. 2-4" EA. WAY @ TOP & BOTTOM
26. "SIMPSON" CB66 POST BASE
27. 6X6 WOOD POST, TYPICAL
28. USE BOTTOM BAR SHOWN IN DETAIL 4/A3
AS GROUNDING ROD (CONTINUOUS FOR
MIN. 20')
29. 4" EA. WAY
30. 2-4" @ BOTTOM FOOTING

PROTOTYPE TITLE-25
RURAL DWELLING

PROJECT TITLE

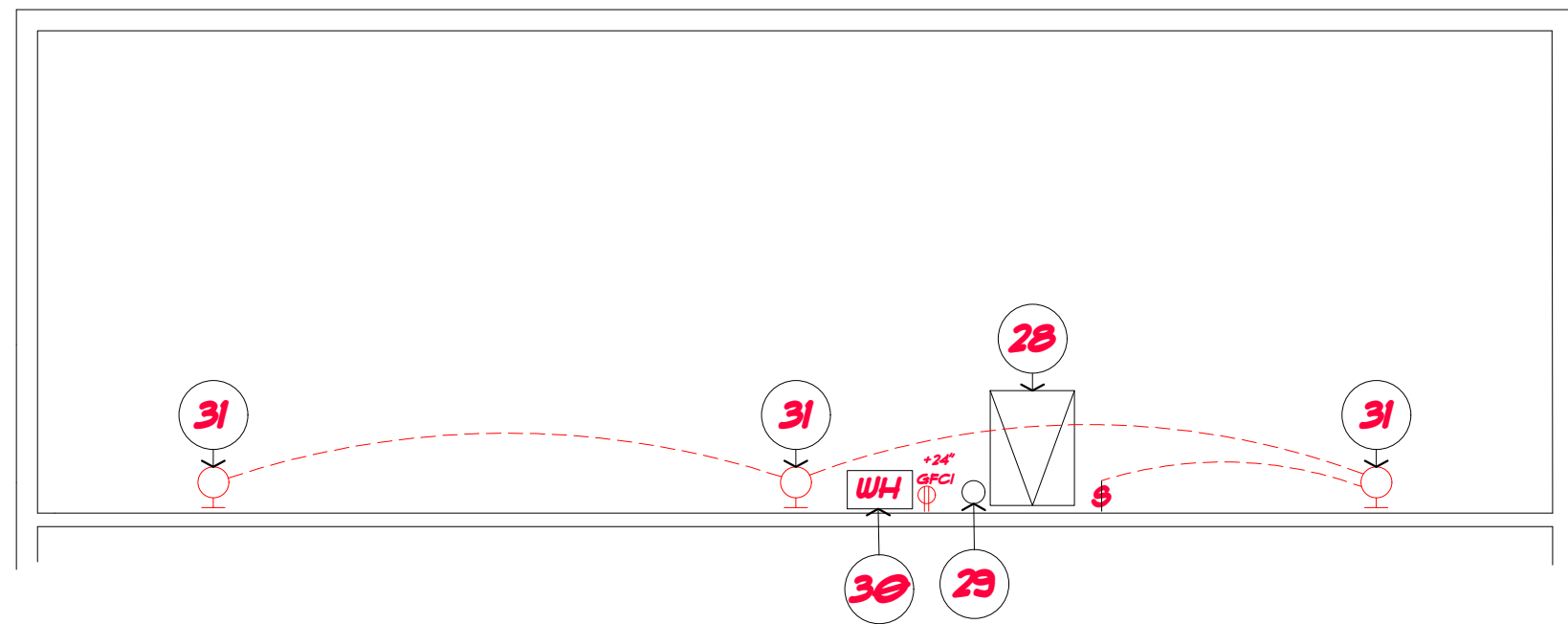
4-6-25

REVISIONS

- FOUNDATION PLAN
- DETAILS

SHEET CONTENTS/TITLE

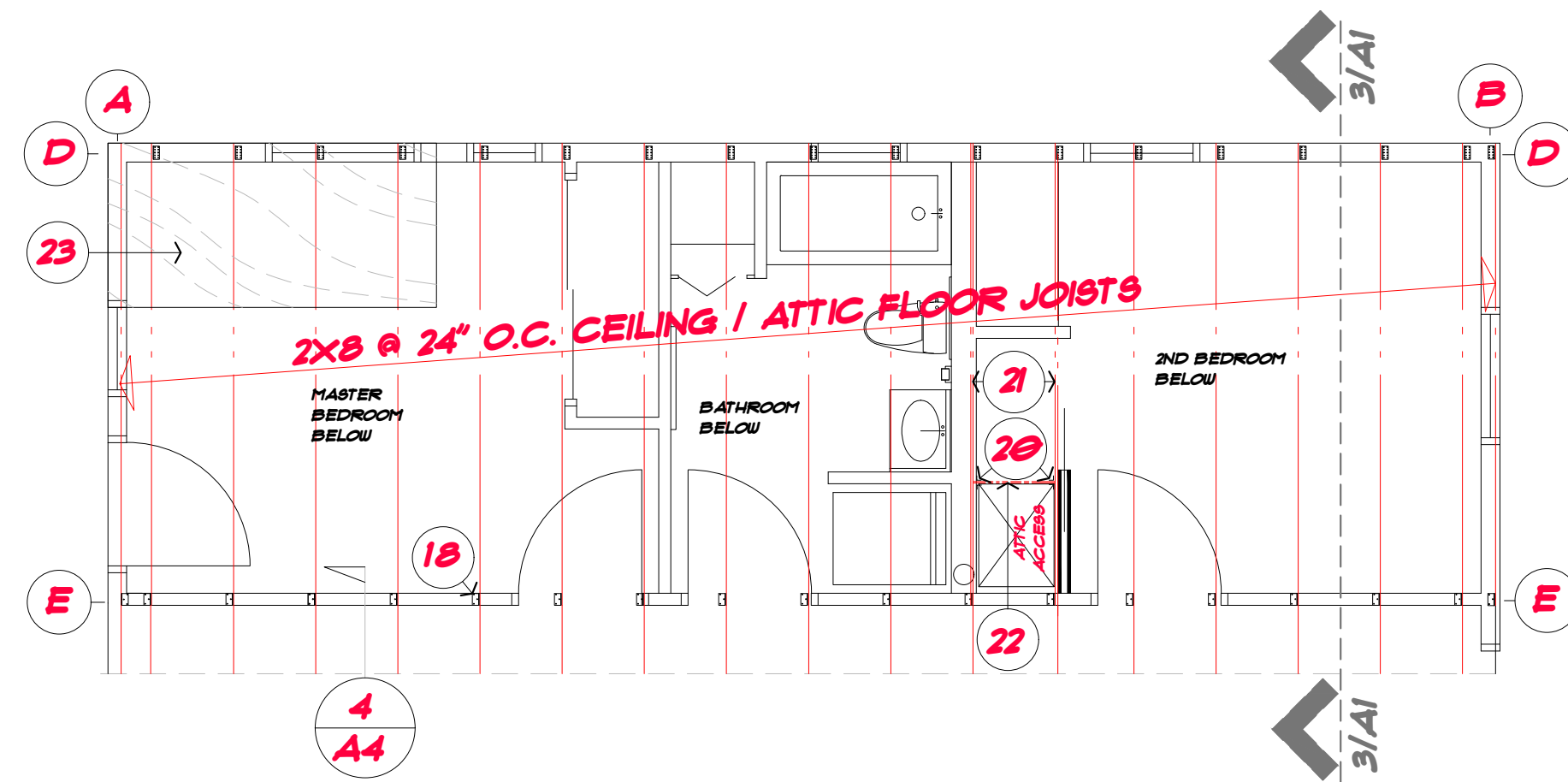
43



ATTIC FLOOR PLAN

4

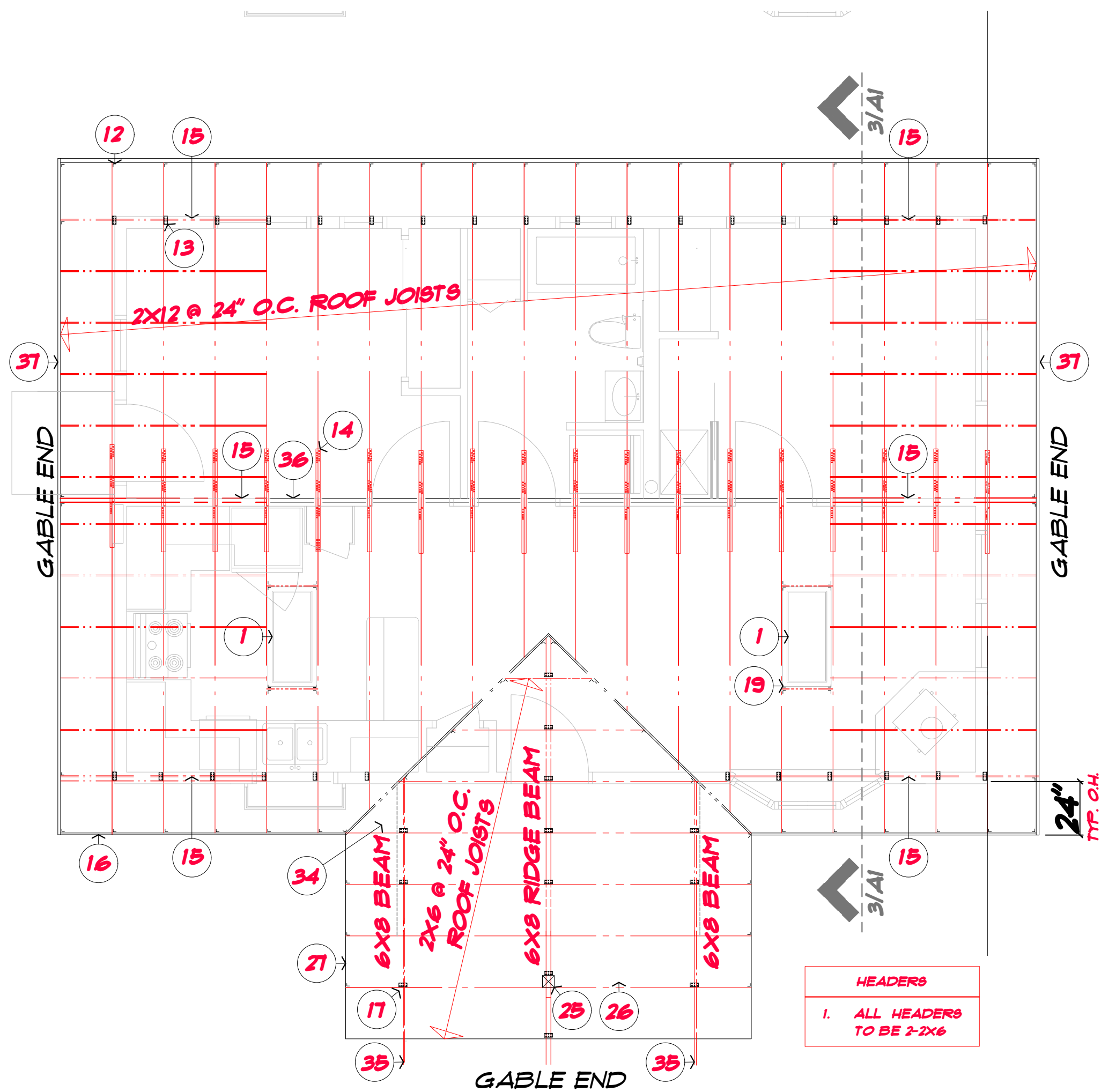
$\frac{1}{4}''=1'-0''$



CEILING FRAMING PLAN

3

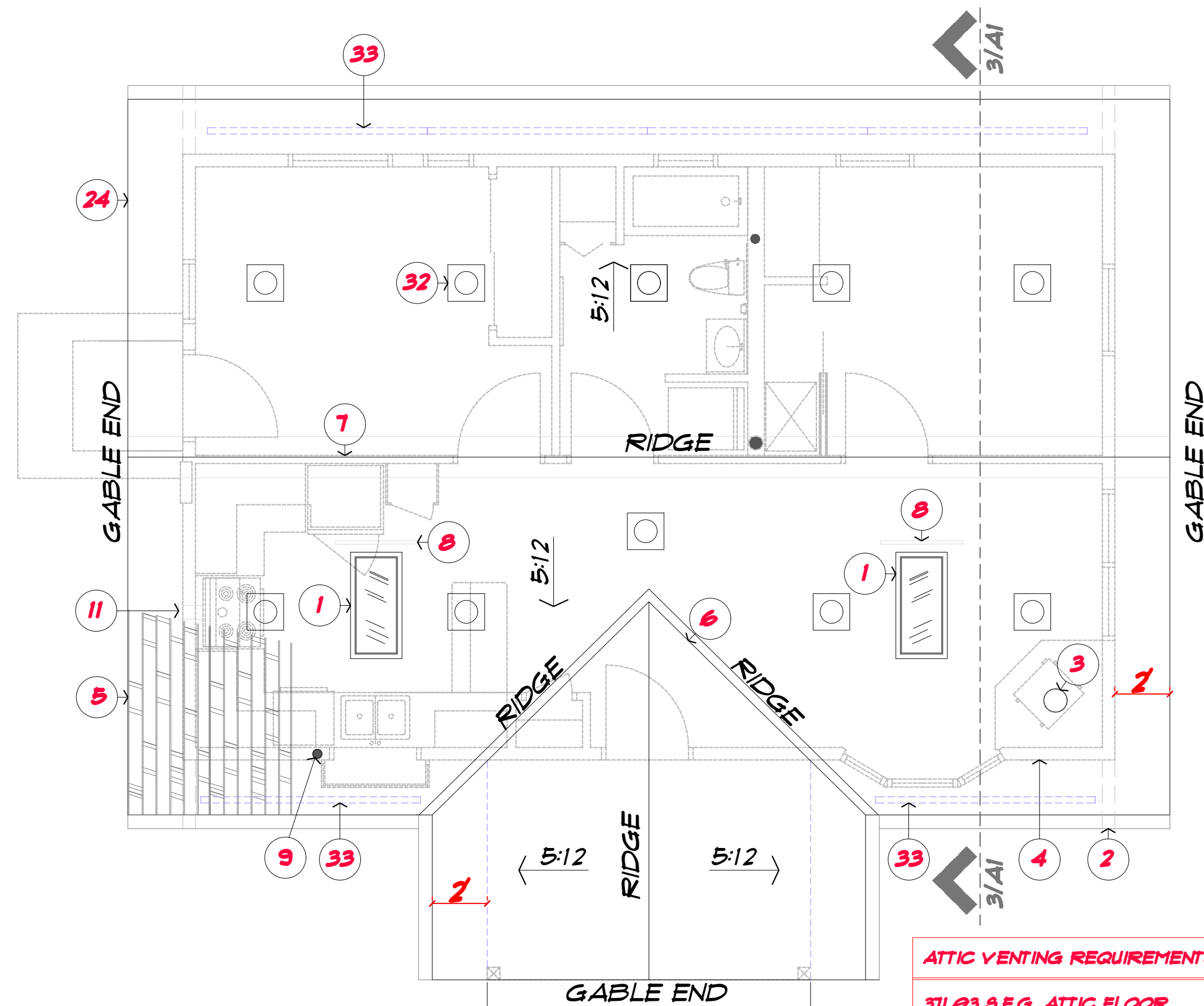
$\frac{1}{4}''=1'-0''$



ROOF FRAMING PLAN

2

$\frac{1}{4}''=1'-0''$



ROOF PLAN

1

$\frac{1}{4}''=1'-0''$

ROOFING NOTES- SHEET A4

- 22 $\frac{1}{2}$ "X46 $\frac{1}{2}$ " FRESH-AIR OPERABLE VENTING CURB-MOUNTED SKYLIGHT W/ LOW E3 GLASS BY "HOME DEPOT." PROVIDE DOUBLE JOIST @ UPPER AND LOWER AREA BETWEEN JOIST BAYS
- 6" ALUMINUM GUTTER AND DOWNSPOUT. TYPICAL. PROVIDE METAL DRIP-EDGE FLASHING
- ALUMINUM CHIMNEY W/ SPARK ARRESTOR AS SELECTED BY OWNER
- WALL LINE BELOW
- 12' SMALL RIB GALVALUME STEEL 29-GAUGE ROOFING PANEL (OR EQUAL). INSTALL PER MFG. REQUIREMENTS. INSTALL OVER 2 LAYERS 15# ROOFING PAPER AND 15/32" A.P.A RATED SHEATHING PERFORMANCE CATEGORY $\frac{32}{16}$, EXPOSURE 1, (OR EQUAL IN CDX OR OSB). ATTACH SHEATHING W/ 8D @ 6" O.C. @ EDGES AND 12" O.C. @ FIELD. COLOR PER OWNER. BY "HOME DEPOT". PROVIDE METAL VALLEY FLASHING. CLASS "A" ASSEMBLY REQUIRED. OPTIONAL ROOFING FINISH MATERIAL IS LIGHTWEIGHT COMPOSITE ROOFING ON 2 LAYERS 15# ROOFING FELT
- PROVIDE GALVANIZED METAL VALLEY FLASHING PER MFG. REQUIREMENTS FOR METAL ROOFING OR COMPOSITE ROOFING
- METAL RIDGE VENT W/ METAL RIDGE CAP. BY "MENARD", OR EQUAL. COLOR PER OWNER
- 36" METAL RAIN DIVERTER
- NOT USED
- 6" VERTICAL DRYER VENT W/ CAP
- 6" HORIZONTAL STOVE/OVEN VENT W/ WALL CAP
- "SIMPSON" A35 FRAMING ANCHOR, G90 GALVANIZED. TYPICAL @ EA. JOIST-TO-FASCIA
- "SIMPSON" RCA335/91-R35 RIGID CONNECTOR ANGLE. TYPICAL @ EA. JOIST-TO-TOP-PLATE CONDITION
- "SIMPSON" RIDGE STRAP MST148" 12 GAUGE STRAP TIE. TYPICAL @ EA. JOIST
- 2X12 OUTLOOKER 2" O.C. RECESS TOP-PLATE BELOW TO ACCOMMODATE DEPTH OF OUTLOOKER/BREAM. TYPICAL
- 2X12 FASCIA. TYPICAL
- 6X6 POST. SEE DETAIL 2/A3
- ML 2"x4" 12-GAUGE Z MAX GALVANIZED MEDIUM L BRACKET BY "SIMPSON." TYPICAL @ INTERIOR BEARING WALL, COLUMN LINE E
- "SIMPSON" JB 2"x6" TOP-FLANGE HANGER, GALVANIZED. TYPICAL
- "SIMPSON" JB28 2"x8" TOP-FLANGE JOIST HANGAR G90 GALVANIZED
- DOUBLE-JOIST TO SUPPORT ATTIC ACCESS OPENING
- PROVIDE 2-2"x8" @ ATTIC ACCESS OPENING
- APA RATED OSB, 4X8X $\frac{3}{4}$ ", NAIL 6" O.C. @ EDGES, 12" O.C. @ FIELD. USE #8 2" STAR-BIT SCREWS. CONTINUOUS
- 4"x2" WP METAL FLASHING @ RAKE AND EAVE
- 6X6 KINGPOST
- 6X8 GABLE END BEAM
- 2X10 FASCIA TYPICAL @ PORCH ROOF
- 22"x36" ATTIC ACCESS W/ HINGED DOOR
- 6"D DRIER VENT TO ROOF. PROVIDE VENT SCREEN W/ WP CAP
- 8.4GPM "RHEEM" ON-DEMAND, TANKLESS WATER HEATER. 120V
- SURFACE-MOUNTED LIGHT FIXTURE PER OWNER
- ROOF/ATTIC VENT W/ MIN. 36 SQ. IN. VENT AREA EA. VENT. 10 REQUIRED
- CONTINUOUS 2 $\frac{3}{4}$ "X36 CORROSION-RESISTANT SOFFIT VENT. "GIBRALTER" BY HOME DEPOT. W/ $\frac{1}{8}$ " X 1" FIRE-SAFE LOUVRES. OR EQUAL
- CAL-FILL FRAMING ATOP MAIN ROOF FOR ENTRY ROOF
- DECORATIVE SAW-CUT CORBEL. SEE 5/A2
- 2X12 BLOCKING ATOP TOP PLATE BETWEEN EACH PAIR OF ROOF JOISTS
- 2X12 FASCIA. TYPICAL

ATTIC VENTING REQUIREMENTS
311.03 S.F.G. ATTIC FLOOR
SPACE / 150 S.F. = 2.4' X 144" =
356 SQ. IN. REQUIRED VENT AREA.
356 SQ. IN. / 36 SQ. IN. PER VENT =
9.9 VENTS REQUIRED = 10 VENTS
PROVIDED

PROTOTYPE TITLE-25 RURAL DWELLING

PROJECT TITLE

6-4-25

REVISIONS

-ROOF PLAN
-ROOF FRAMING
PLAN
-ATTIC FRAMING
PLAN
-ATTIC FLOOR PLAN

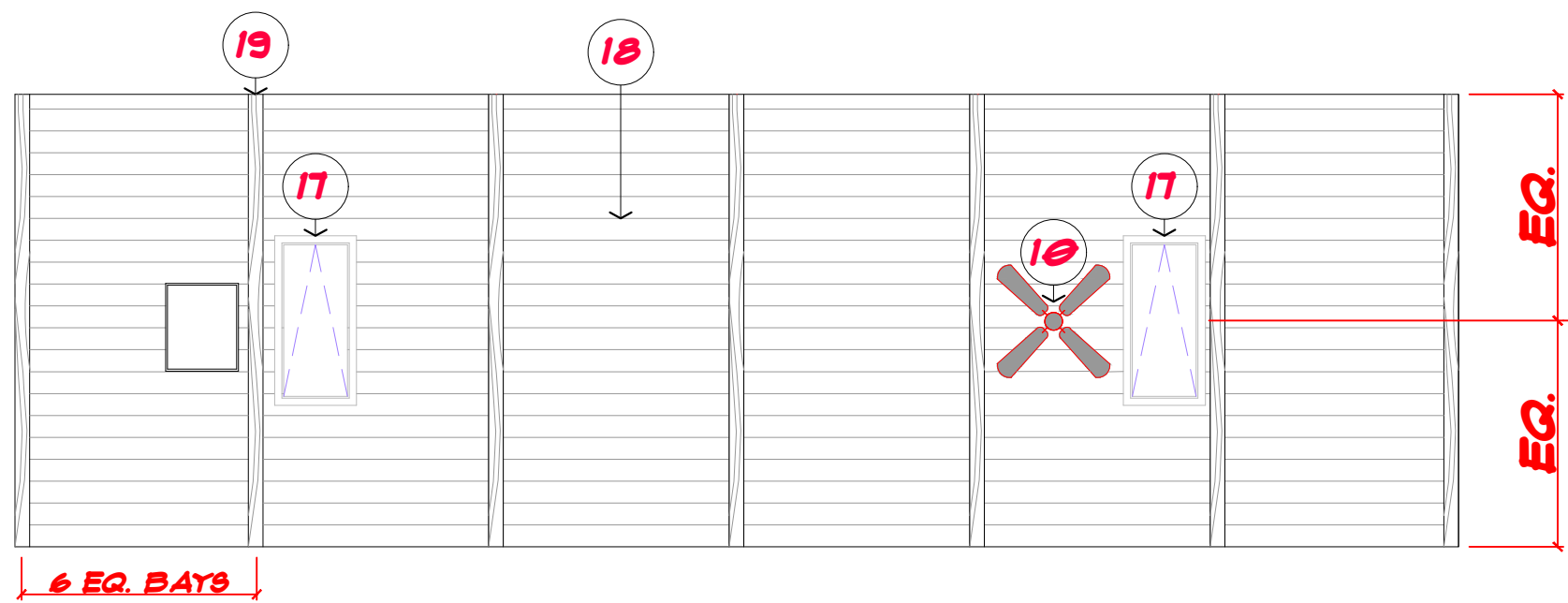
SHEET CONTENTS/TITLE

A4

1.	JOIST-TO-BILL OR GIRDER, TOE NAIL	3-8D
2.	BRIDGING TO JOIST, TOE NAIL EACH END	2-8D
3.	1X6 SUB-FLOOR OR LESS TO EACH JOIST	2-8D
4.	WIDER THAN 1X6 SUB FLOOR TO EACH JOIST, FACE NAIL	3-8D
5.	2' SUBFLOOR, JOIST TO GIRDER, BLIND & FACE NAIL	2-16D
6A.	SOLE PLKATE TO JOIST OR BLOCKING. TYP. FACE NAIL	16D @ 16" O.C.
6B.	SOLE PLATE TO JOIST OR BLOCKING @ BRACED WALL PANELS	3EA. 16D PER 16" O.C.
7.	TOP PLATE TO STUD, END NAIL	2EA. 16D
8.	STUD TO SOLE PLATE	4-8D, TOENAIL OR 2-16D, END NAIL
9.	DOUBLE STUDS, FACE NAIL	16D @ 24" O.C.
10A.	DOUBLE TOP PLATES, TYPICAL FACE NAIL	16D @ 16" O.C.
10B.	DOUBLE TOP PLATE, LAPSPICE	8-16D
11.	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8D
12.	RIM JOIST TO TOP PLATE, TOENAIL	8D @ 16" O.C.
13.	TOP PLATES, LAPs & INTERSECTIONS, FACE NAIL	2-16D
14.	CONTINUOUS HEADER, TWO PIECES	16D @ 16" O.C. ALONG EACH EDGE
15.	CEILING JOIST TO TOP PLATE, TOENAIL	3-8D
16.	CONTINUOUS HEADER TO STUD, TOENAIL	4-8D
17.	CEILING JOISTS, LAPs OVER PARTITIONS	3-16D
18.	CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16D
19.	RAFTER TO PLACTE, TOE NAIL	3-8D
20.	1" BRACE TO EACH STUD & END PLATE, FACE NAIL	2-8D
21.	1X8 SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8D
22.	WIDER THAN 1X8 SHEATHING TO EACH BEARING, FACE NAIL	3-8D
23.	BUILT-UP CORNER STUDS	16D @ 24" O.C.
24.	BUILT-UP GIRDER & BEAMS	20D @ 32" O.C. @ TOP & BOTTOM & STAGGERED @ ENDS, & @ EACH SPICE
		2-16D @ EACH BEARING
25.	2' PLANKS	
26.	WOOD STUCTUURAL PANELS & PARTICLE BOARD	
	SUBFLOOR & WALL SHEATHING (TO FRAMING)	
	1/2" OR LESS	6D
	19/32" - 3/4"	8D OR 6D
	7/8" - 1"	8D
	1 1/8" - 1 1/4"	10D OR 8D
	COMBINATION SUBFLOOR - UNDERLAYMENT (TO FRAMING)	
	3/4" AND LESS	6D
	3/8" - 1"	8D
	1 1/8" - 1 1/4"	10D OR 8D
27.	PANEL SIDING (TO FRAMING)	
	1/2" OR LESS	6D
	5/8"	8D
28.	FIBERBOARD SHEATHING	
	1/2"	NO. 11 GA., 6D, NO. 16 GA.
	25/32"	NO. 11 GA., 8D, NO. 16 GA.
29.	INTERIOR PANELLING	
	1/4"	4D
	3/8"	6D

NAILING SCHEDULE

4

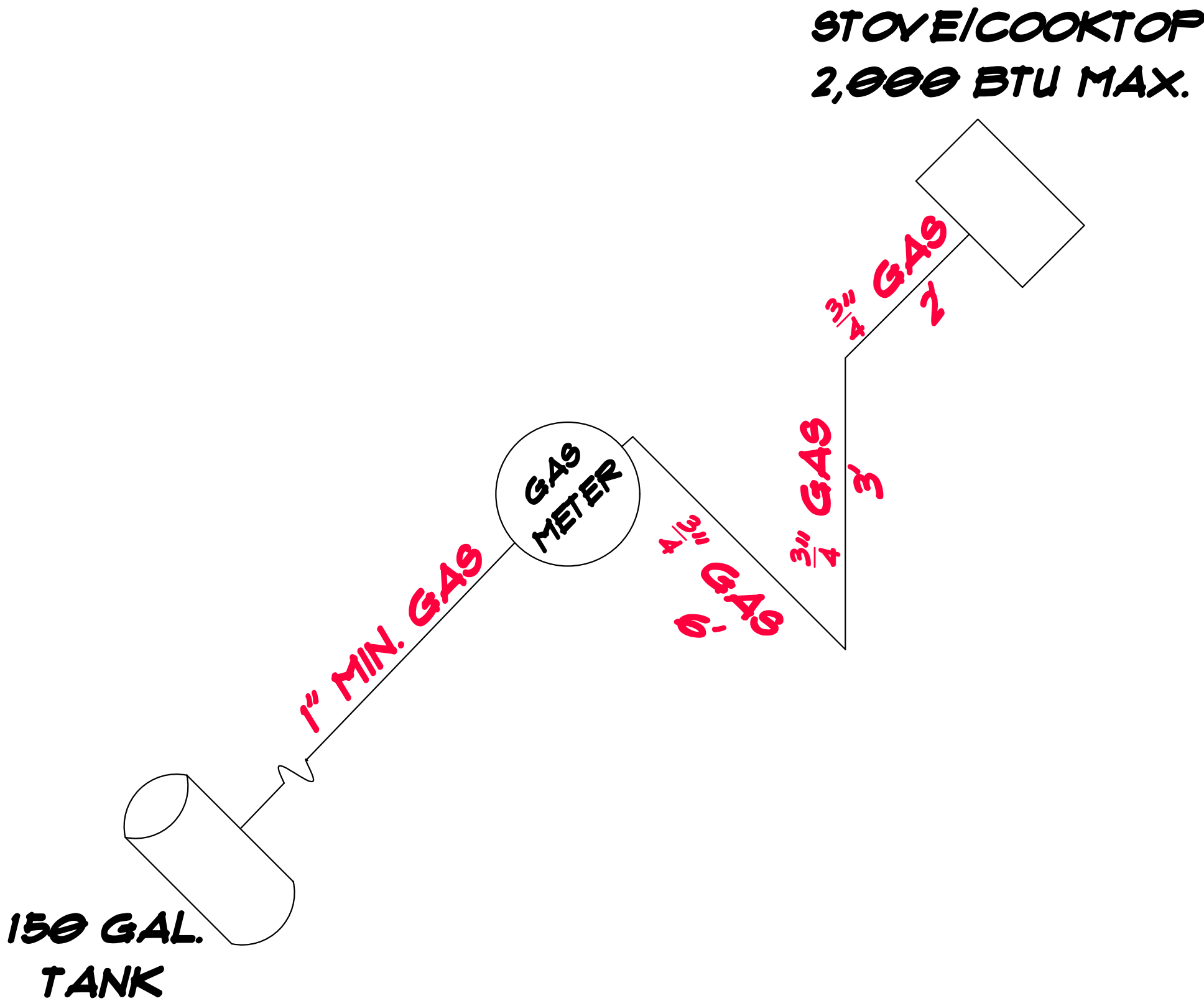


REFLECTED CEILING PLAN

2

(@ KITCHEN, DINING, LIVING AREAS)

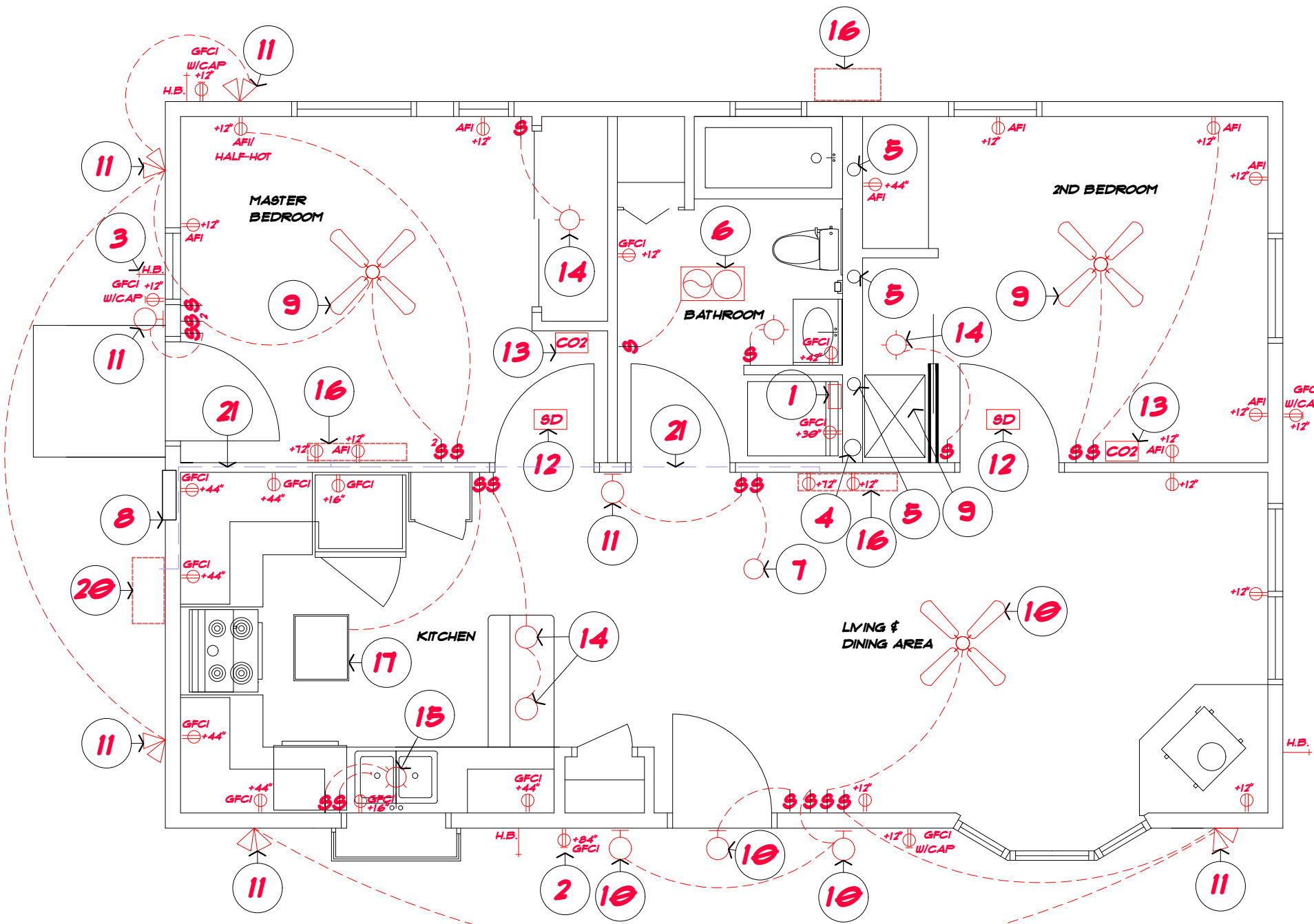
1/4" = 1'-0"



GAS PIPING PLAN

3

N.T.S.



ELECTRICAL & MECHANICAL PLAN

1

1/4" = 1'-0"

ELECTRICAL & MECHANICAL NOTES - SHEET A5

1. WASHER SUPPLY & DRAIN BOX
2. RECEPTACLE FOR HOLIDAY LIGHTS. GFCI W/ CAP
3. HOSE BIB
4. 6" DRIER VENT. 2' VENT STACK
5. COMBINATION VENT FAN/LIGHT
6. SUSPENDED CHANELIER FIXTURE PER OWNER
7. 200AMP PANEL W/ COVER
8. PROVIDE 4-PLEX OUTLET AND SURFACE-MOUNTED LIGHT FIXTURE IN ATTIC W/ SWITCH WITHIN 36" OF ATTIC ACCESS OPENING
9. CEILING-MOUNTED FAN/LIGHT COMBINATION FIXTURE PER OWNER
10. SURFACE MOUNTED LIGHT FIXTURE PER OWNER
11. EXTERIOR FLOODLIGHT PER OWNER
12. CEILING-MOUNTED SMOKE DETECTOR. HARD-WIRED W/ BATTERY BACKUP. DETECTOR ALARMS TO BE AUDIBLE IN ALL SLEEPING AREAS
13. "GENTEX" HARD-WIRED CO2 ALARM W/ BATTERY BACK-UP, OR EQUAL. INSTALL @ 5' A.F.F.
14. CEILING-MOUNTED FIXTURE PER OWNER
15. 12000 BTU MINI-SPLIT AC/HEATPUMP. SNL 12CD, 110V. WALL-MOUNT HEATPUMP @ EXTERIOR. INSTALL PER MFG. RECOMMENDATIONS
16. SURFACE-MOUNTED SPLIT-SYSTEM HEATING/COOLING UNIT PER OWNER
17. 22 1/2"X46 1/2" FRESH-AIR OPERABLE VENTING CURB-MOUNTED SKYLIGHT W/ LOW E3 GLASS BY "HOME DEPOT."
18. 1"X6" DECORATIVE PINE CEILING. STAIN AND FINISH PER OWNER
19. 4"X10" FAUX BEAMS. STAIN AND FINISH PER OWNER
20. OUTDOOR SPLIT-SYSTEM CONDENSOR & FAN
21. ROUTE OF SPLIT-SYSTEM LIQUID & SUCTION LINES IN CENTER LINE WALL

PROTOTYPE TITLE-25 RURAL DWELLING

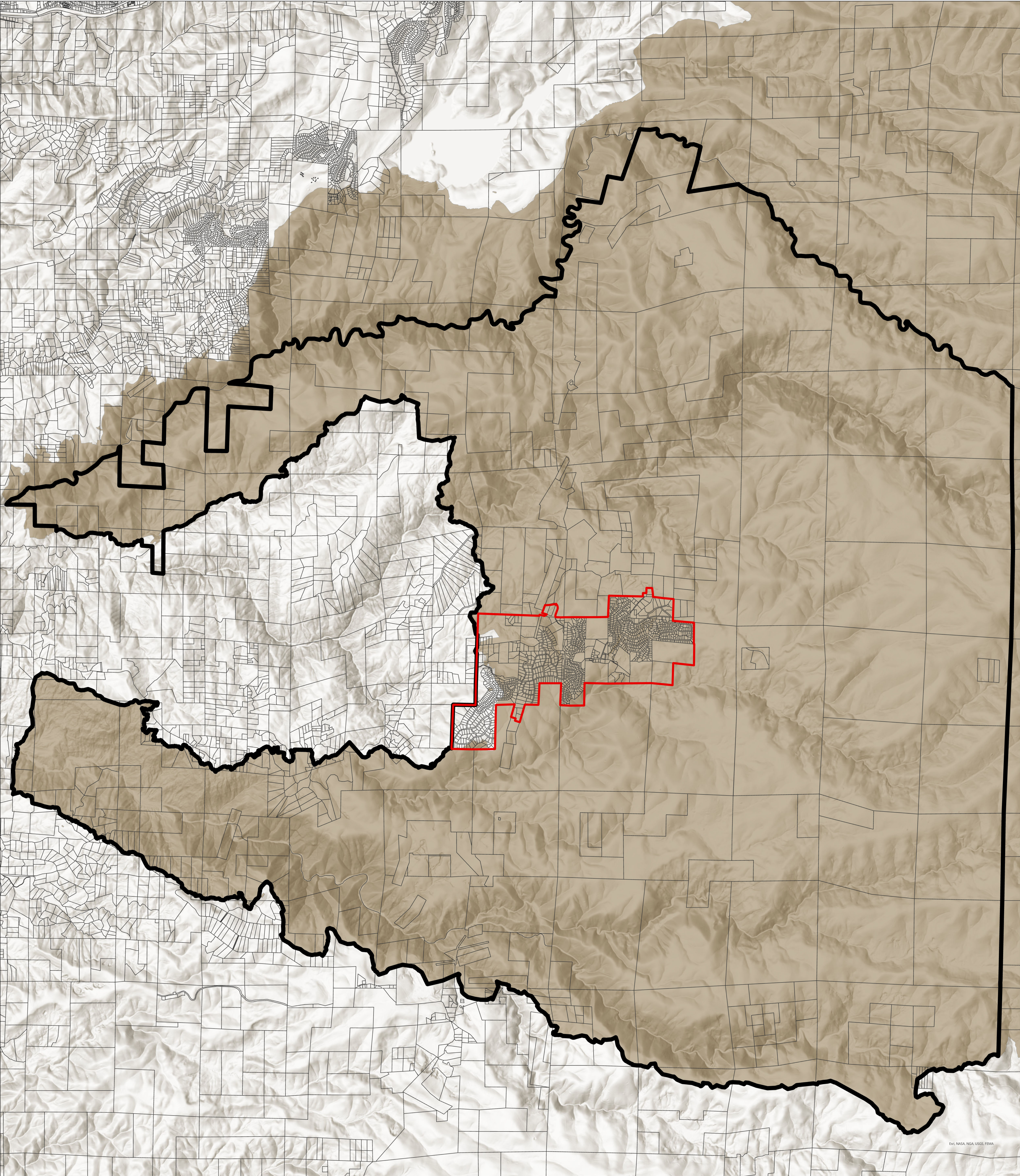
PROJECT TITLE

6-4-25

REVISIONS

-ELECTRICAL & MECHANICAL PLAN
-REFLECTED CEILING PLAN
-GAS PIPING PLAN
-NAILING SCHEDULE
-SHEET CONTENTS/TITLE

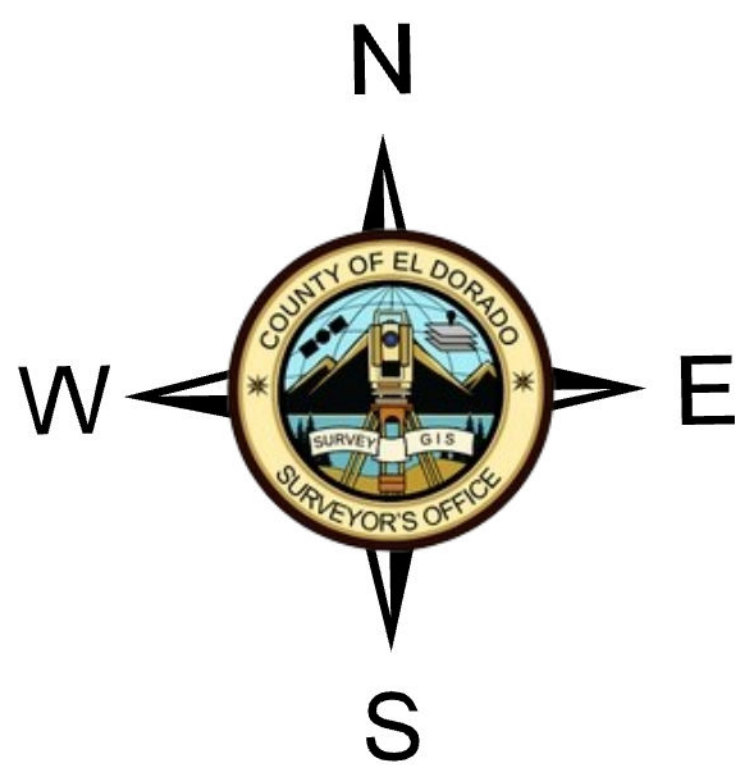
A5



Title 25 Grizzly Flats Area Boundary Map

DISCLAIMER:
THIS DEPICTION WAS COMPILED FROM UNVERIFIED PUBLIC AND PRIVATE SOURCES AND IS ILLUSTRATIVE ONLY. NO REPRESENTATION IS MADE AS TO THE ACCURACY OF THIS INFORMATION. PARCEL BOUNDARIES ARE PARTICULARLY UNRELIABLE. USERS MAKE USE OF THIS DEPICTION AT THEIR OWN RISK.

NOTES:
LAYER INFORMATION MAY COVER ADDITIONAL AREAS OUTSIDE OF THE DISPLAYED AREA.
PREPARED AT THE REQUEST OF: Karen Garner DATE: 4/15/2024
MAP PREPARED BY: EDC GIS DATE: 4/29/2024
G.I.S. PROJECT ID: see0074774, RELATED REPORT: None
EL DORADO COUNTY SURVEYOR/G.I.S. DIVISION
GIS EMAIL: gis@edcgov.us - PHONE: (530) 621-5440
MAP DISPLAYED IN STATE PLANE COORDINATE SYSTEM (NAD 1983 CALIFORNIA ZONE 2, FEET)



County of El Dorado
State of California

0 1 2 Miles

Legend

-  Parcels
-  Title 25 Grizzly Flats Boundary
-  Grizzly Flats Rural Center
-  Caldor Fire Boundary

El Dorado County Milled Lumber

The El Dorado County Board of Supervisors adopted Ordinance 24-0194 to assist property owners within the designated Caldor Fire area in rebuilding their homes using Title 25 Limited-Density Owner-Built Rural Dwelling standards. Under these standards, onsite milled lumber may be utilized. Below, please find the span tables to be used unless the onsite milled lumber has a Certificate of Inspection issued by a lumber grading or inspection agency.

PLEASE NOTE

All onsite milled lumber shall be fully dimensional in size and limited to one story buildings. Wall studs shall be placed at a maximum 16" OC and the ceiling height shall not exceed 10 feet.

FLOOR JOIST SPANS

JOIST SPACING (inches)	2 x 6	2 x 8	2 x 10	2 x 12
	Maximum floor joist spans			
	(ft-in)	(ft-in)	(ft-in)	(ft-in)
12	7-5	9-5	11-5	13-6
16	6-5	8-2	9-10	11-8
19.2	5-11	7-5	9-0	10-8
24	5-3	6-8	8-1	9-6

GIRDER SPANS AND HEADER SPANS FOR BEARING WALLS

(top of the header or girder is laterally braced by perpendicular framing)

HEADERS AND GIRDERS SUPPORTING	Building Width (Feet)					
	Interior 24			Exterior 24		
	Size	Span	# of Trimmers	Size	Span	# of Trimmers
Roof and Ceiling	2-2 x 4	2-10	1	1-2 x 8	2-4	2
	2-2 x 6	4-4	1	1-2 x 10	3-0	2
	2-2 x 8	5-5	1	1-2 x 12	3-6	3
	2-2 x 10	6-6	2	2-2 x 4	4-2	3
	2-2 x 12	7-7	2	2-2 x 6	2-4	1
	3-2 x 8	6-10	1	2-2 x 8	3-6	2
	3-2 x 10	8-1	1	2-2 x 10	4-5	2
	3-2 x 12	9-6	2	2-2 x 12	5-3	2
	4-2 x 8	7-11	1	3-2 x 8	6-2	2
	4-2 x 10	9-4	1	3-2 x 10	5-6	2
	4-2 x 12	11-0	1	3-2 x 12	6-7	2
				4-2 x 8	7-9	2
				4-2 x 10	6-4	1
				4-2 x 12	7-7	2

CEILING JOIST SPANS (located at the bottom of the attic space)

CEILING JOIST SPACING (Inches)	2 x 4	2 x 6	2 x 8	2 x 10
	Maximum ceiling joist spans			
	(feet-inches)	(feet-inches)	(feet-inches)	(feet-inches)
12	7-2	10-6	13-3	16-1
16	6-2	9-2	11-6	14-0
19.2	5-8	8-4	10-6	12-9
24	5-1	7-5	9-5	11-5

RAFTER SPANS

RAFTER SPACING (Inches)	2 x 4	2 x 6	2 x 8	2 x 10	2 x 12
	Maximum Rafter Spans				
	(feet-inches)	(feet-inches)	(feet-inches)	(feet-inches)	(feet-inches)
12	4-5	6-6	8-3	10-0	11-10
16	3-10	5-8	7-1	8-8	10-3
19.2	3-6	5-2	6-6	7-11	9-4
24	3-1	4-7	5-10	7-1	8-4